

3.3. ADDITIONS TO HISTORIC PROPERTIES

This section intends to help design appropriate additions to enlarge designated landmarks and all buildings within the historic district (both contributing and noncontributing). The goal of these standards and guidelines is to help clarify how the *Secretary's Standards* will be interpreted for Certificates of Appropriateness for additions within Fredericksburg, for both landmarks and all properties within the historic district, whether contributing or noncontributing. All standards and guidelines for additions herein are derived from the spirit of SOI Standards 9 and 10. However, these standards and guidelines provide significantly more detail than the *Secretary's Standards*.

Additions: Compatible but Differentiated

One key philosophy underpinning the *Secretary's Standards for Rehabilitation* is that additions should be both compatible and differentiated. That means that some aspects of the addition's design should be compatible, while others should be differentiated. Seven key aspects of an addition's design are listed below:

1. Roof form
2. Footprint shape
3. Fenestration pattern (wall versus window, solid versus void)
4. Materials
5. Stylistic Elements
6. Color (within an accepted palette)

No prescribed formula governs which aspects should be compatible or differentiated. One helpful rule of thumb is that additions generally are appropriate if at least two aspects are compatible, and at least one aspect is differentiated. The aspects can be mixed and matched in infinite ways – allowing a wide berth for creativity among architects and designers.

In Fredericksburg, **height must always be generally compatible** with the original building and the surrounding district. Refer to standards 3.3(f–i) for detailed guidance regarding height.





Examples of **appropriate** additions on 106 E. Schubert Street (top) and 303 W. San Antonio Street (bottom). Both examples above create slight differentiation using only one aspect of design—fenestration—while maintaining compatibility with materials and color. Source: City of Fredericksburg Historic Preservation Office.

Visibility from the Public Right-of-Way

Visibility from the public right-of-way (ROW) is used to gauge the appropriateness of design. For corner lots, this includes both the front façade and the street-facing side façade.

Preservation

- (a) Avoid damaging or obstructing historic character-defining building features and/or site features when constructing additions.

High Priority	Medium Priority	Low Priority
Required	Required if visible from the public ROW	Recommended

- (b) Consider altering existing interior spaces, including attics, to increase living space before considering the construction of an addition.

High Priority	Medium Priority	Low Priority
Recommended	Recommended	Recommended

Height and Massing

- (c) For side additions, use hyphens to connect the addition to the historic building while minimizing the impact on adjoining historic building fabric. The side addition should be pushed back as far as possible so as to retain the original side elevation. (See fig. 3-47.)

High Priority	Medium Priority	Low Priority
Side additions not allowed unless a rear addition is not feasible.	Required	Recommended

- (d) For rear additions, consider using hyphens, breezeways, insets, or offsets to connect the addition to the historic building differentiating the massing from the original main house. (See fig. 3-48.)

High Priority	Medium Priority	Low Priority
Recommended	Recommended	Recommended

- (e) Set back new additions from the historic building so that the historic building retains visual emphasis.

High Priority	Medium Priority	Low Priority
Required set back behind historic rear wall	Required setback a minimum of 15 feet measured from the	Recommended

High Priority	Medium Priority	Low Priority
Inappropriate	Appropriate if visible from the public ROW	Appropriate

- (f) Additions may gain additional height the further they are set back, with a maximum height no more than 10 feet taller than the historic building, measured from the historic building’s original roof peak to the addition’s roof peak.

High Priority	Medium Priority	Low Priority
Appropriate if set back behind the historic rearmost wall	Appropriate if set back behind the historic rearmost wall with a slight offset/inset or siding break	Appropriate if set back 15 feet behind the historic front wall (excluding the porch) or behind the original roof’s ridgeline

- (g) Design basement additions so that they do not raise the historic floor level of the building.

High Priority	Medium Priority	Low Priority
Required	Recommended	Recommended

- (h) Basement additions that require raising the historic floor level may be appropriate in some cases, provided that the new floor level of the building is not higher than either the average of the contributing buildings on the same block face, or the average of the adjacent buildings (if both adjacent buildings are contributing).

High Priority	Medium Priority	Low Priority
Inappropriate	Appropriate	Appropriate

- (i) Where possible, align the floor plates of additions with the historic building.

High Priority	Medium Priority	Low Priority
Recommended	Recommended	Recommended

- (j) If finishing out an existing attic, the addition of dormer windows may be appropriate in some instances.

High Priority	Medium Priority	Low Priority
Inappropriate	Appropriate if not visible from the public ROW	Appropriate

Design

(k) Design new additions that have less ornamentation and detailing so that they do not visually overpower the historic building.

High Priority	Medium Priority	Low Priority
Required	Required if visible from the public ROW	Required if visible from the public ROW

(l) Design new additions to be compatible with the historic building but differentiated enough so that they are not confused as historic or original to the building. (Refer to the “Additions: Compatible but Differentiated” sidebar above.)

High Priority	Medium Priority	Low Priority
Required	Required if visible from the public ROW	Recommended

(m) Balance compatibility with differentiation among the following aspects of the addition’s design: roof form, footprint shape, fenestration pattern (wall versus window, solid versus void), materials, stylistic elements, and color palette.

High Priority	Medium Priority	Low Priority
Required	Required if visible from the public ROW	Required if visible from the public ROW

(n) Contemporary architectural styles are appropriate for additions provided that compatibility is retained among other building aspects; for example, an addition may have a contemporary roof form, fenestration pattern, and style if it maintains a compatible footprint shape, materials, and color palette.

High Priority	Medium Priority	Low Priority
Required	Required if visible from the public ROW	Required if visible from the public ROW

(o) New additions should not overpower existing main structures. Full-floor second story additions that obscure the form of the original structure are not appropriate.

High Priority	Medium Priority	Low Priority
Inappropriate	Inappropriate	Allowed if not overpowering neighboring properties.

(p) The addition should be visually cohesive as a unit; the different parts of the addition should clearly communicate a unified, contemporary date of construction. Consider using one consistent roof form for the entire addition.

High Priority	Medium Priority	Low Priority
Recommended	Recommended	Recommended

(q) Design exterior walls, roof features, and window/door openings to authentically communicate the structural system of the addition. The size and placement of window and door openings must accurately correspond to the bays of the structural system. Lintels should reflect the structural system. Application of false structural elements is prohibited.

High Priority	Medium Priority	Low Priority
Required	Required if visible from the public ROW	Required if visible from the public ROW

(r) Revealing an addition’s structural elements—like true load-bearing masonry or revealed posts and beams—is encouraged.

High Priority	Medium Priority	Low Priority
Recommended	Recommended	Recommended

Materials

(s) Modern materials, such as fiber-cement siding, are appropriate for additions, provided that the overall design balances compatibility with differentiation.

High Priority	Medium Priority	Low Priority
Allowed	Allowed	Allowed

(t) Limiting the materials palette for additions to two materials is recommended.

High Priority	Medium Priority	Low Priority
Recommended	Recommended	Recommended

(u) If a wood-frame structural system is used, wood siding or fiber-cement siding is encouraged. Using masonry veneer or stucco atop a wood-frame structure is discouraged.

High Priority	Medium Priority	Low Priority
Recommended	Recommended	Recommended

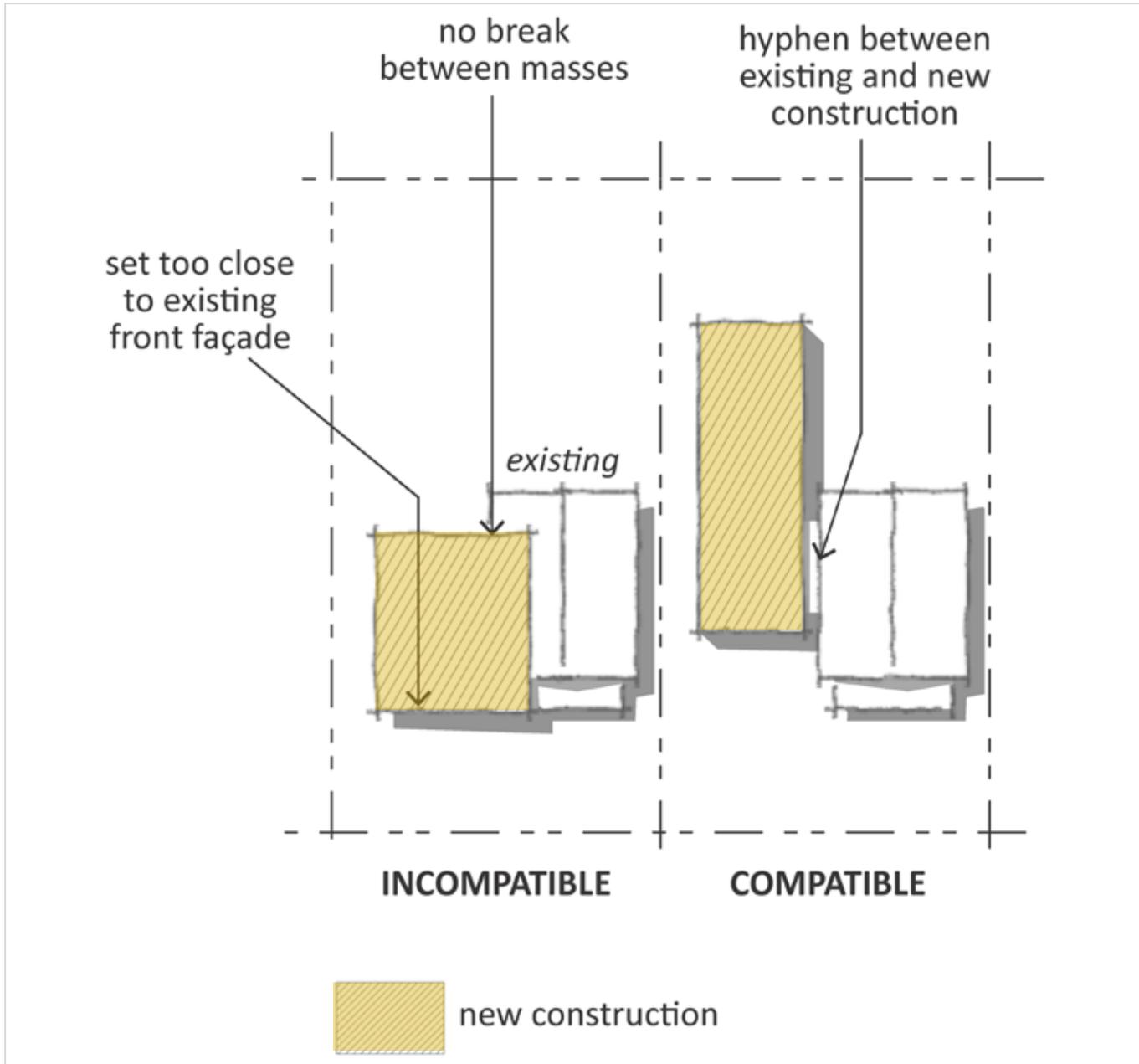


Figure 3-48. Examples of side additions, showing how the compatible side addition uses a hyphen and setback to separate it from the original building (medium or low). Source: HHM archives.

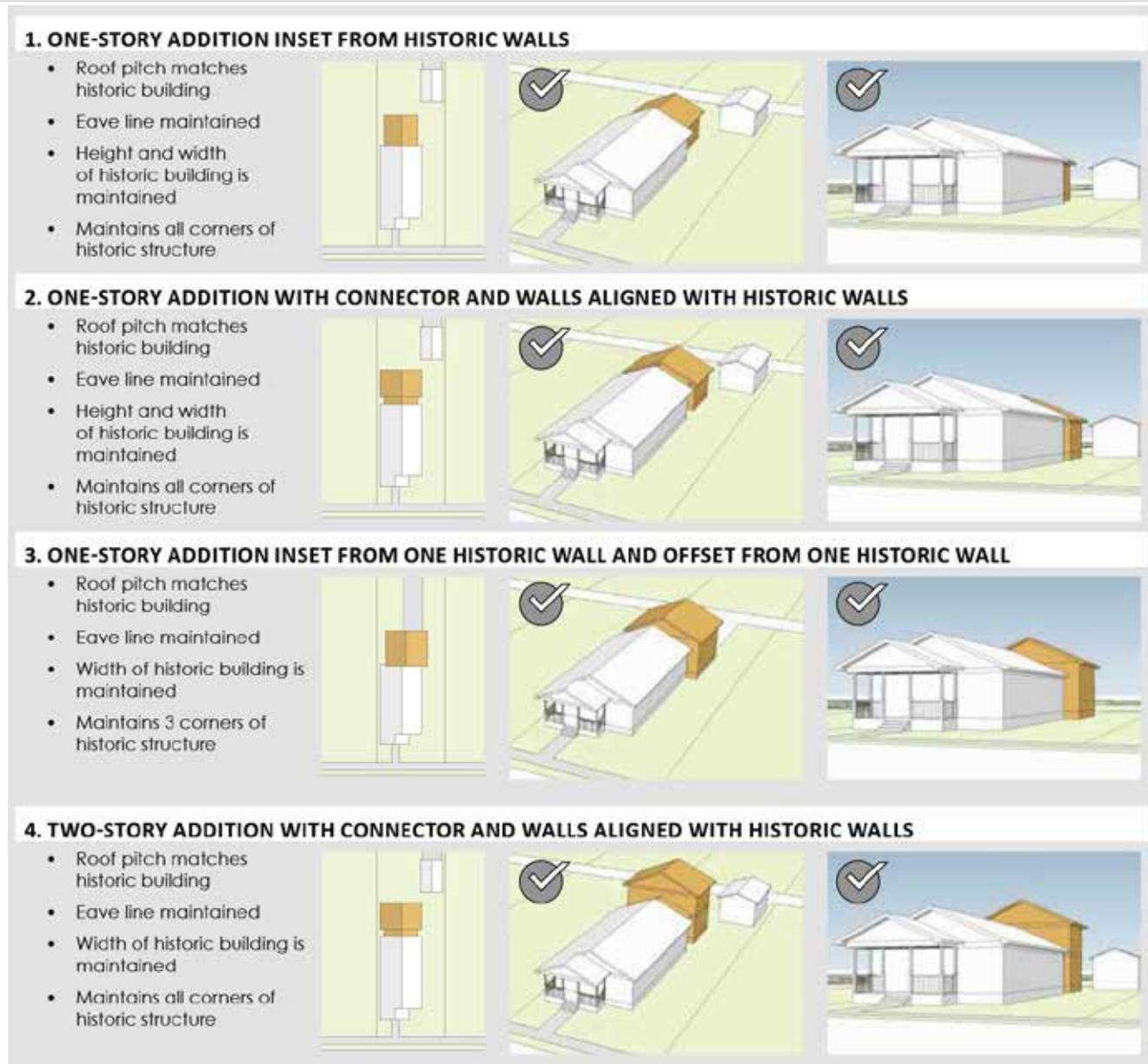


Figure 3-49. Examples of potential **appropriate** massing for hyphens, breezeways, insets, or offsets to differentiate a main original house from an addition. For High- or Medium-priority buildings, use of hyphens, breezeways, insets, or offsets is recommended for rear additions of the same height. They may be required for rear additions that rise taller than a historic High- or Medium-priority building. Source: Winter & Company archives.



Figure 3-50. Photo of an **appropriate** side addition connected to a historic house by a glass hyphen in Concord Massachusetts, designed by Estes/Twombly Architects. These standards require use of a similar hyphen for side additions on High- or Medium-priority buildings. Note that the addition is compatible with the historic house in terms of its materials and color, but differentiated by its fenestration pattern and roof form. Source: Kristin Dispenza, "House of the Month: Redesign of a Historic 1890s-era House," Buildipedia, accessed May 16, 2020, <http://buildipedia.com/at-home/design-remodeling/house-of-the-month-redesign-of-a-historic-1890s-era-house?print=1&tmpl=component>.



Figure 3-51. **Appropriate** rear addition in Austin, designed by Clayton Little Architects. Note that a glass hyphen separates the addition from the main house. The addition is compatible in terms of height, roof form, and footprint shape, but differentiated by its color, materials, and fenestration pattern. Source: "Clarksville Residence," Clayton Little Architects, accessed January 10, 2020, <https://claytonlittle.com/work/clarksville-residence/>.



Figure 3-52. Example of a two-story rear addition set back behind the ridgeline of a one-story bungalow. This addition would be inappropriate for a High- or Medium-priority house, but appropriate for a Low-priority house. Source: HHM archives.



Figure 3-53. Example of an **appropriate** historic stone building that connects to a new side addition on the right through a glass hyphen, minimizing impact to the historic building. Note that the materials, roof form, and color are compatible, while the fenestration is differentiated. Source: National Park Service.



Figure 3-54. Photo of a contemporary addition to a historic fire station via an offset brick hyphen. Note that the roof form, materials, and color are compatible, while the fenestration pattern is differentiated. Source: Winter & Company archives.



Figure 3-55. Rendering of a rear addition to a historic church that uses a hyphen to minimize impact on the adjacent historic fabric. Note that the addition uses a contemporary footprint, roof form, and fenestration pattern, but the height is subordinate to the historic building and the materials and color palette are compatible. Source: SKT Architects.



Figure 3-56. Example of a rooftop addition on a commercial building. In Fredericksburg, a similar rooftop addition would be appropriate only on a Low priority building, and only if set back 15 feet behind the original front wall per standard 3.3(f) above. Source: Anne E. Grimmer and Kay D. Weeks, *Preservation Brief 14: New Exterior Additions to Historic Buildings: Preservation Concerns*, National Park Service, updated August 2010, <https://www.nps.gov/tps/how-to-preserve/briefs/14-exterior-additions.htm>.