

### 3.2.6. Exterior Walls

#### Maintenance

- (a) Retain and repair the historic exterior wall materials unless deteriorated beyond repair (SOI Standards 2, 5, 6).

High Priority	Medium Priority	Low Priority
Required for all exterior walls	Required if visible from the ROW	Recommended

- (b) Maintain, repair, and clean historic exterior walls according to accepted preservation techniques (see *Appendix G*, SOI Standards 5, 7).

High Priority	Medium Priority	Low Priority
Required for all exterior walls	Required if visible from the public ROW	Recommended

- (c) Identify and treat the causes of deterioration to exterior wall materials, such as poor site drainage, moisture retention, clogged gutters and downspouts, leaky roofs, deteriorating paint, sprinklers pointed toward the building, and vegetation or moisture-retaining soil that touches wood elements (SOI Standards 5, 7).

High Priority	Medium Priority	Low Priority
Required	Required	Recommended

- (d) Retain historic-age murals and preserve according to accepted preservation techniques (see *Appendix G*, SOI Standards 5, 7).

High Priority	Medium Priority	Low Priority
Required	Required	Recommended

#### Alterations

- (e) Do not remove historic wall fabric to create new openings (SOI Standards 2, 9).

High Priority	Medium Priority	Low Priority
Required for all exterior walls	Required if visible from the public ROW	Recommended

#### ADA Compliance: Altering Exterior Walls

In some cases, removing original wall fabric may be necessary to enlarge door openings to accommodate persons with disabilities. In these instances, the Historic Review Board may vote to approve a COA application that meets the spirit of *the Secretary's Standards* but

does not precisely meet these standards and guidelines to the letter. (Refer to *Section 1.4.2.4.*)

- (f) Do not add new wall features or ornamentation where not historically present (SOI Standard 3, 9).

High Priority	Medium Priority	Low Priority
Required if visible from the public ROW	Required forward from the ridgeline for the front 15 feet	Recommended

- (g) Avoid painting historically unpainted exterior walls; this includes avoiding adding murals to previously unpainted walls (SOI Standard 7, 9; see fig. 3-18).

High Priority	Medium Priority	Low Priority
Required for all exterior walls	Required if visible from the public ROW	Recommended

- (h) Refer to the period-appropriate paint palettes in *Appendix G* when selecting exterior wall colors (SOI Standard 6).

High Priority	Medium Priority	Low Priority
Required for all exterior walls	Required if visible from the public ROW	Recommended

- (i) If historic wall materials are deteriorated beyond repair, patch the smallest area necessary to prevent the spread of deterioration to the surrounding fabric (SOI Standard 6).

High Priority	Medium Priority	Low Priority
Required for all exterior walls	Required if visible from the public ROW	Recommended

- (j) If replacement of historic exterior wall materials is necessary, choose a material identical in dimensions, profile, reveal, and texture to the historic material as closely as possible given available options (SOI Standard 6).

High Priority	Medium Priority	Low Priority
Required	Required	Recommended

- (k)

If replacement of historic exterior wall materials is necessary, install the new materials maintaining spatial relationships (including depth, dimension, and joint patterns) as historically relative to window frames, door frames, and other exterior features (SOI Standards 3, 6).

High Priority	Medium Priority	Low Priority
Required for all exterior walls	Required if visible from the public ROW	Recommended

- (l) Historic-age foundation skirting should be preserved; new foundation skirting should be appropriate for the age and style of the building (SOI Standards 2, 5, 6).

**Period-appropriate Foundation Skirting**  
 Refer to *Section 2* for examples of different types of foundation skirting for different architectural styles. In general, for buildings constructed prior to ca. 1915, appropriate foundation skirting materials include wood, fiber-cement, or pressed metal. For buildings constructed after ca. 1915, appropriate foundation skirting materials include wood, fiber-cement, or stucco. Stone foundation skirting should be added only if documented as present historically. Adding stone foundation skirting without documentation that it was present historically can create a false sense of history.

- (m) If restoration of a historic-age mural is necessary, hire a qualified professional conservator (SOI Standard 7).

High Priority	Medium Priority	Low Priority
Recommended	Recommended	Recommended

- (n) New murals may be approved on a case-by-case basis if painted on a previously painted surface or affixed to buildings in a manner that does not damage historic fabric – with preference given to historic or cultural subjects rather than business promotion (SOI Standard 10).

High Priority	Medium Priority	Low Priority
Appropriate in some cases	Appropriate in some cases	Appropriate in some cases



Figure 3-20. Example of a Craftsman bungalow at 707 W. Main Street. Note that the 2-inch horizontal wood siding and relationship of wall to window are character-defining features to be preserved. Source: CMEC Historic Resources Survey, 2019.



Figure 3-21. Example of damage to brick surface caused by paint. Paint can allow moisture to become trapped within the brick, resulting in flaking off the brick’s hard outer crust along with the paint, leaving the softer inner brick exposed and susceptible to weatherization. Source: “Please, Don’t Paint Your Mid-Century Brick,” MidMod Midwest, accessed January 8, 2021, <https://midmod-midwest.com/mid-century-brick/>.



Figure 3-23. Examples of common siding profiles, to be matched as closely as possible. Source: Scott Sidler, "The Ultimate Guide to Wood Siding," The Craftsman Blog, updated June 1, 2020, <https://thecraftsmanblog.com/the-ultimate-guide-to-wood-siding/>.

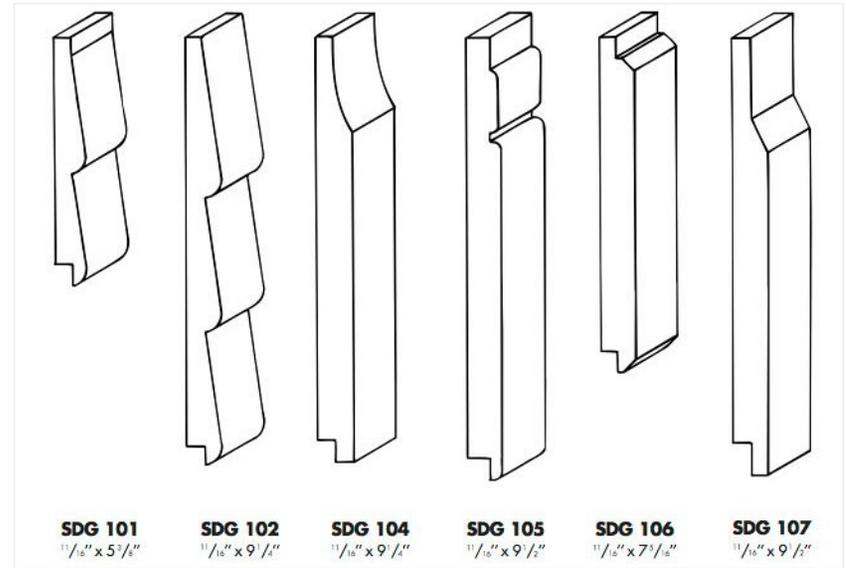


Figure 3-24. Examples of common siding dimensions, to be matched as closely as possible. Source: "Choosing the Siding is Half the Battle," *Old Town Home*, updated July 22, 2013, <https://www.oldtownhome.com/2013/7/22/Choosing-the-Siding-is-Half-the-Battle>.



Figure 3-27. Example of a new mural painted on MDO, rested against a wall in a way that does not damage the historic building fabric. Source: Pinterest, accessed January 8, 2021, <https://www.pinterest.com/pin/270427152610026461/>.

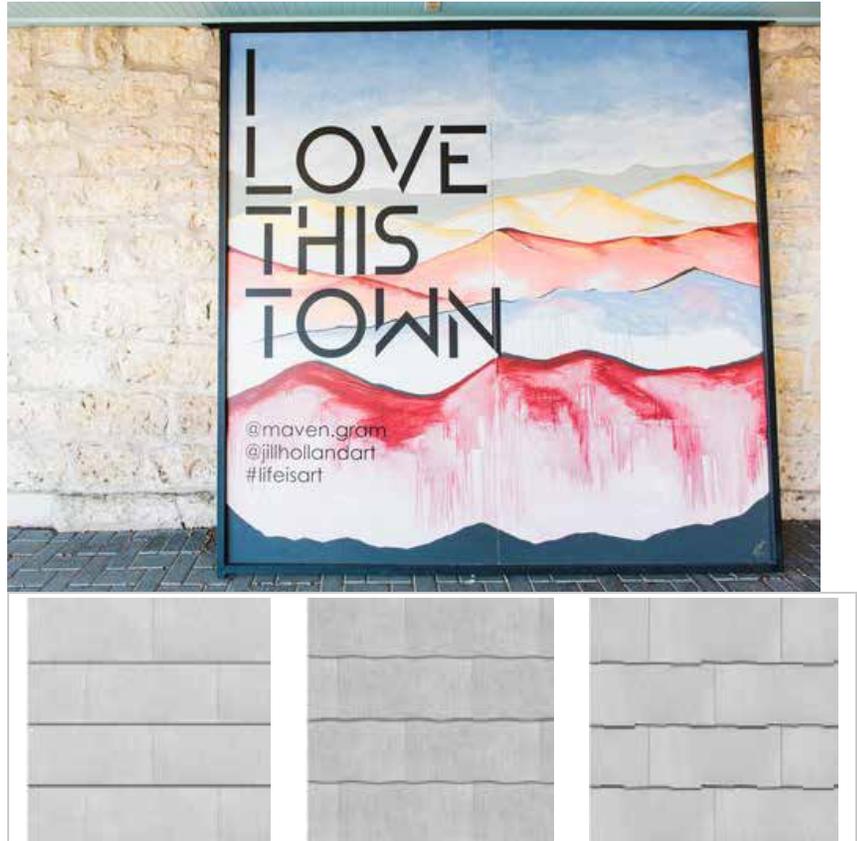


Figure 3-25. Matching replacement siding is just as important for midcentury buildings as older buildings. Fiber-cement shingles may be used to replace asbestos shingles. Although available options for fiber-cement—like these—may not match the original profile and dimension of the asbestos shingles exactly, the closest match available should be selected. Source: “Purity Fiber-Cement Siding,” GAF, accessed January 24, 2021, <https://www.gaf.com/en-us/roofing-products/residential-roofing-products/fiber-cement-siding/siding-shingles/weatherside-purity-fiber-cement-siding>.

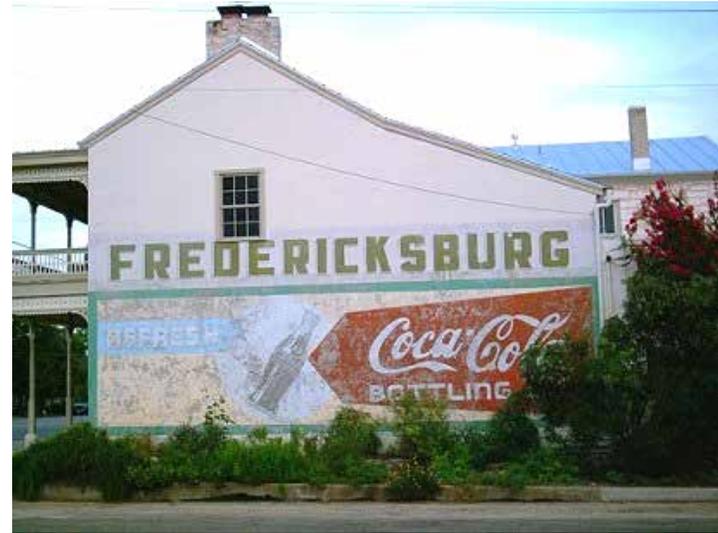


Figure 3-26. Example of a historic mural that has been restored by a local artist. Source: Shannon Yarbrough, “A Coca Cola sign in Fredericksburg” [top photo], from “Fredericksburg, Texas,” Texas Escapes, accessed January 8, 2021, <http://www.texasescapes.com/TexasHillCountryTowns/Fredericksburg-Texas.htm>.